



# Home Evaluation Services

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Inspected By: Gary Horwood



## Home Inspection Report

Prepared For:

Sample Report 100+ Year Old Home

Property Address:

Unspecified Address

Inspected on Tue, Aug 4 2020 at 12:00 PM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

#### DEFINITION OF CONDITION TERMS

**Satisfactory:** At the time of inspection the component is functional without observed signs of a substantial defect.

**Marginal:** At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

**Repair or Replace:** At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

**Further Evaluation:** The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

#### INSPECTION AGREEMENT

(Please Read Carefully)

In consideration of payment of the inspection fee set forth below, Home Evaluation Services LLC ("HES") agrees to conduct an inspection and prepare a written Inspection

Report ("Report") to alert the Customer of any major deficiencies in the property's condition in the following areas: structural condition; electrical, plumbing, hot water heater, heating and air conditioning; quality, condition and life expectancy of major systems and appliances; basement, including water problems; Kitchen and appliances; general interior, including ceiling, walls, floors, insulation and ventilation; general exterior, including roof, gutter, chimney; drainage and grading, of the lot. HES performs the inspection and prepares the report for the sole, confidential and exclusive use and possession of the CUSTOMER.

Customer understands and agrees that the inspection will be of the readily accessible areas of the property and is limited to visual observation of apparent conditions existing at the time of the inspection only. Excluded from the inspection are latent and concealed defects and deficiencies. Equipment, systems or other items will not be dismantled during inspection.

HES will perform the inspection in accordance with the standards of practice of the American Society of Home Inspectors, which is incorporated herein by reference. A copy of these standards is on file at the HES office. The inspection will be completed at the location designated on the inspections conditions page of the report. All inspection information will be conveyed to the customer or the customer's representative in the report. HES accepts no responsibility for use or misrepresentation by third parties of the inspection or the report.

Maintenance and other items may be discussed, but they are not part of the inspection. The inspection is not a compliance inspection of certification for past or present governmental codes or regulations of any kind.

The inspection and report do not address and are not intended to address the possible presence of, or danger from, any potentially harmful substances and environmental hazards including, but not limited to: mold in the air and carpet, radon gas, lead in paint, lead in water, asbestos, urea formaldehyde and toxic or flammable chemicals. Also excluded are inspections of and reports concerning swimming pools, wells, septic systems, central vacuum systems, water softeners or sprinkler systems, and presence or absence of rodents, termites, or other insects.

If the Customer believes that the inspection or report are deficient or inaccurate, then HES reserves the right to re-inspect visually the alleged deficiency and inaccuracies before the customer takes any step to remedy same. Customer shall give written notice of the

alleged deficiency to HES. The notice shall state the alleged deficiency and the grounds or basis for the allegations that the deficiency exists.

The parties agree that HES, its employees and agents assume no liability or responsibility for the cost of repairing or replacing any unreported defects or deficiencies that are either current or arising in the future, or for any property damage, consequential damage or bodily injury of any nature. THE INSPECTION AND REPORT ARE NOT INTENDED TO BE USED AS A GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, REGARDING THE ADEQUACY, PERFORMANCE OR CONDITION OF ANY INSPECTION, ITEM OR SYSTEM.

Customer understands and agrees that if HES, its agents or employees are found liable for any loss or damage resulting from a failure to perform any of the obligations under this agreement including, but not limited to negligence, breach of contract, or otherwise, then the liability of HES, its agents or employees shall be limited to the amount of the inspection fee paid by Customer.

**Resolution of disputes by arbitration** If after the proper notice by Customer, HES has re-inspected, evaluated and addressed any alleged deficiencies in the performance of the inspection or preparation of the Report; and if the parties cannot reach an amicable resolution to same, then both parties agree that the subject matter of the dispute shall be submitted to binding arbitration subject to the rules of American Arbitration Association. The term "dispute" includes any dispute as to the deficiency of the inspection, report, or any other duty of either party arising under this agreement. Furthermore, the parties agree that each shall pay their own attorney fees and shall share equally in the cost of arbitration.

This Pre-Inspection Agreement represents the entire agreement between the parties and incorporate by reference the above referenced Cover Sheet, and Standards of the American Society of Home Inspectors. Changes or modifications to this agreement shall be in writing and signed by the parties. This agreement shall inure to the benefit only to the parties signing this agreement, and shall not inure to the benefit of any successor or assign of either party.

## General

Client's Signature And Agreement  
Acceptance:



Property Type:	Single Family
Stories:	2 With walk up attic
Approximate Age:	Year Built 1913
Age Based On:	Listing, Sellers Disclosure
Bedrooms/Baths:	4 Bedroom , 2 Bath
Weather:	Sunny
Temperature:	Cool
Soil Condition:	Dry
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
People Present:	Client, Owner

## Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Mostly Level
	Condition: Satisfactory
Vegetation:	Generally Maintained
	Condition: Satisfactory
Driveway:	Concrete
	Condition: Satisfactory
Walkways:	Concrete
	Condition: Satisfactory
Steps/Stoops:	Wood
	Condition: Repair or Replace

(Site continued)



Comment 1:

The front porch will need repair, lifting boards and loose peeling paint .



Figure 1-1



Comment 2:

The main structure appears to be stable .

## Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:

Aluminum Siding

Condition: Satisfactory

(Exterior continued)



Comment 3:

The loose hanging backing material at the siding by the upper back roof will need repair, ( sealing this area is also recommended .



Figure 3-1

Exterior Trim Material:

Wood

Condition: Satisfactory

Windows:

Wood, Aluminum

Condition: Repair or Replace



Comment 4:

The back windows in the attic area are in poor condition, these will need repair or replacement .

(Exterior continued)



Figure 4-1

Entry Doors:	Wood, Steel Condition: Satisfactory
Balconies:	Wood Condition: Satisfactory
Railings:	Wood Condition: Marginal

(Exterior continued)



Comment 5:

This photo shows a sample of the loose peeling paint .



Figure 5-1



Comment 6:

Safety hand railings are recommended at all stairways with 3 treads or more, also most insurance providers will require them. this safety item was missing at the front stairway,



Figure 6-1

(Exterior continued)


- 
-  **Comment 7:**  
Overall the exterior of this property was in good general condition, no major damage or deterioration .



Figure 7-1

## Garage

Garage Type:

Detached

Condition: Satisfactory

(Garage continued)



Comment 8:

Some floor cracks are present, but the foundation was stable .



Figure 8-1

Garage Size:	3 Car
Door Opener:	Not Present
Opener Safety Feature:	Not Present



Comment 9:

Garage door springs should have a safety cable running through them., also the spring system was broken on the center door,

(Garage continued)



Figure 9-1

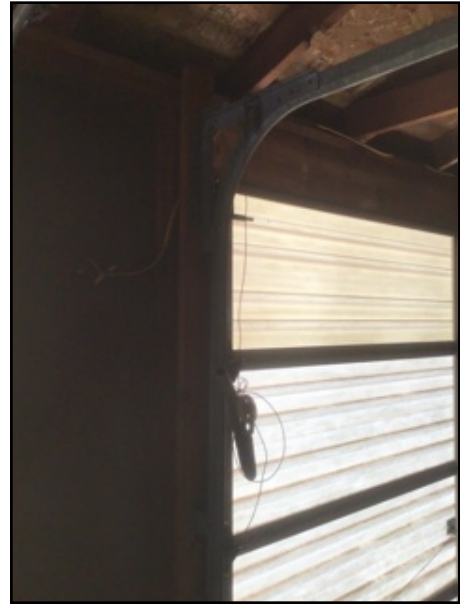


Figure 9-2



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Comment 10:

The garage structure was in good general condition, but the exterior of this building will need repair .



Figure 10-1

(Garage continued)

## Exterior

Exterior Covering:

Fiber board siding

Condition: Repair or Replace



Comment 11:

The siding on this building was in poor condition, also note the back window was broken .



Figure 11-1



Figure 11-2



Figure 11-3

(Exterior continued)



Comment 12:

The garage roof was in good condition .



Figure 12-1

## Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:

Ladder

Roof Covering:

Dimension shingles and rubber membrane

Condition: Satisfactory

(Roofing continued)



Comment 13:

The rubber roof area was in good general condition .



Figure 13-1

Ventilation Present:

Roof, Turbine

Condition: Satisfactory

Vent Stacks:

Metal

Condition: Satisfactory

Chimney :

Masonry , Brick

Condition: Satisfactory

(Roofing continued)



Comment 14:

Note ; the chimney top has been removed and is capped, .



Figure 14-1

Sky Lights:	Not Present
Flashings:	Metal Condition: Satisfactory
Soffit and Fascia:	Aluminum Condition: Satisfactory
Gutters & Downspouts:	Only on the garage Condition: Marginal

(Roofing continued)



Comment 15:

Only on the garage, these do need cleaning .



Figure 15-1



Comment 16:

The house roof areas are in good general condition, no visible damage or deterioration to both the shingles or rubber roof area,.



Figure 16-1



Figure 16-2

# Kitchen

Cabinets:	Painted wood Condition: Satisfactory
Countertops:	Laminated, And metal Condition: Satisfactory
Sink:	Double Condition: Satisfactory



## Comment 17:

I do recommend adding an air inlet valve, this will improve the venting and reduce the gurgling .



## Comment 18:

The kitchen area was found to be in good general working condition , the ceiling area where upper cabinets were removed will need to be finished .



Figure 18-1

(Kitchen continued)

## Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Range:	Hotpoint
	Condition: Satisfactory
Range Hood:	Nutone
	Condition: Satisfactory
Refrigerator:	Amana
	Condition: Satisfactory
Dishwasher:	Not Inspected



### Comment 19:

This unit was not working at time of inspection .



Figure 19-1

Microwave:	Not Present
Disposal:	PHCC
	Condition: Satisfactory

# Bathrooms

## Bathroom #1

Bath Tub:	Not Present
Shower:	Not Present
Sink(s):	Pedestal
	Condition: Marginal



Comment 20:  
This sink also had gurgling when tested.

Toilet:	Standard Tank
	Condition: Satisfactory
Floor:	Vinyl
	Condition: Satisfactory
Ventilation Type:	Ventilator
	Condition: Satisfactory
GFCI Protection:	Not Present



Comment 21:  
A new GFCI outlet should be installed within 6' of a water source.



Figure 21-1

(Bathroom #1 continued)



Comment 22:

The main floor 1/2 bathroom is #1.



Figure 22-1

## Bathroom #2

Bath Tub:	Recessed Condition: Satisfactory
Shower:	In Tub Condition: Satisfactory
Sink(s):	Pedestal Condition: Satisfactory
Toilet:	Standard Tank Condition: Satisfactory
Shower Walls:	Tile Condition: Marginal

(Bathroom #2 continued)



**Comment 23:**

The tub shower was in good condition, but needs new sealing around the base.



Figure 23-1

Floor:	Vinyl
	Condition: Satisfactory
Ventilation Type:	Ventilator, Window
	Condition: Satisfactory
GFCI Protection:	Not Present



**Comment 24:**

I recommend a GFCI type outlet be installed at any outlet within 6' of a water source. Such as in kitchens, bathrooms and laundry sink areas, this was not code until the mid 80's ( bathrooms) and 90's ( kitchen)

(Bathroom #2 continued)



Figure 24-1



Comment 25:  
The upper hallway bathroom is #2.



Figure 25-1

# Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors:	Tile, Wood, Linoleum
	Condition: Satisfactory
Walls:	Plaster
	Condition: Marginal



## Comment 26:

This photo shows the upper hallway by the chimney with the most peeling plaster.

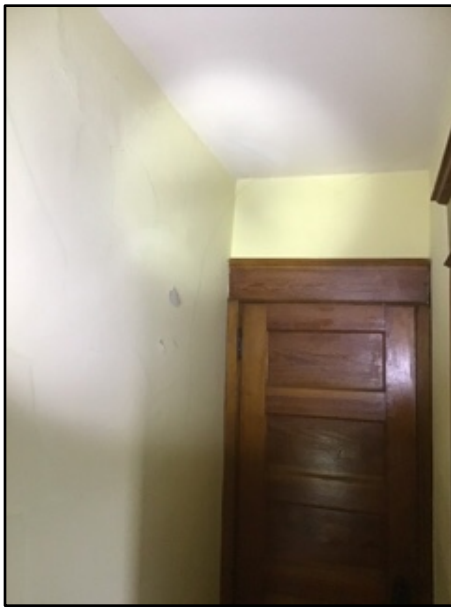


Figure 26-1

Window Types:	Double Hung, Fixed
	Condition: Satisfactory
Window Materials:	Wood, Vinyl
Entry Door Types:	Hinged
	Condition: Satisfactory
Entry Door Materials:	Wood, Steel
Interior Door Materials:	Wood
Fireplace:	Original coal unit, no longer in use, Condition: Chimney is now capped

(Interior continued)



**Comment 27:**

The interior room areas of this home were found to be in good general condition, some age stains and minor plaster cracking, ( normal for this age home) no major water damage or deterioration,.

## Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:

Basement



**Comment 28:**

The basement wood window units are in poor condition, the exterior foundation paint was peeling, these items should be taken care of .



Figure 28-1



Figure 28-2

(Structure continued)



Figure 28-3

Foundation Material:

Concrete Block, Stone

Condition: Satisfactory

Signs of Water Penetration:

Dampness

Condition: Further Evaluation Required



Comment 29:

Some dampness was found in the front corner area, this will need to be monitored, I also recommend a de- humidity unit be operating in the basement during the summer .

(Structure continued)



Figure 29-1

Prior Waterproofing:	Not Present
Floor Structure:	Wood Frame
	Condition: Satisfactory
Subflooring:	Solid Wood Plank
	Condition: Satisfactory
Wall Structure:	Wood Frame
	Condition: Satisfactory



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Comment 30:

The basement/foundation was in good general condition, normal minor deterioration at the interior walls , some evidence of minor seeping, but no signs of water intrusion issues, .

(Structure continued)



Figure 30-1

## Attic

Roof Framing Type:

Joist and Rafters

Condition: Satisfactory

Roof Deck Material:

Oriented Strand Board, Solid Wood Plank

Condition: Satisfactory

(Attic continued)



Comment 31:

Modern new roofing sub sheeting was in place .



Figure 31-1

Insulation:

Not visible

Condition: Further Evaluation Required

(Attic continued)



Comment 32:

The walk up attic area was in good condition .



Figure 32-1

## Crawlspace

If the clearance from the ground to the bottom of the joists is less than 36", or other adverse conditions exist, the inspector is not obligated to enter the crawl space.

Inspection Method:

From Access

Vapor Retarder:

Not Present

Underfloor Insulation:

Fiberglass Batts, Rigid Foam

Condition: Satisfactory

Moisture Condition:

Dry

Condition: Satisfactory

# Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Overhead
Main Disconnect Location:	Service Panel
Service Panel Location:	Basement
Branch Circuit Wiring:	Non-Metallic Shielded Copper
Condition:	Repair or Replace



## Comment 33:

The wiring in the garage will also need to be repaired ( with proper junction box connections), Also, the back wall outlets were not energized .

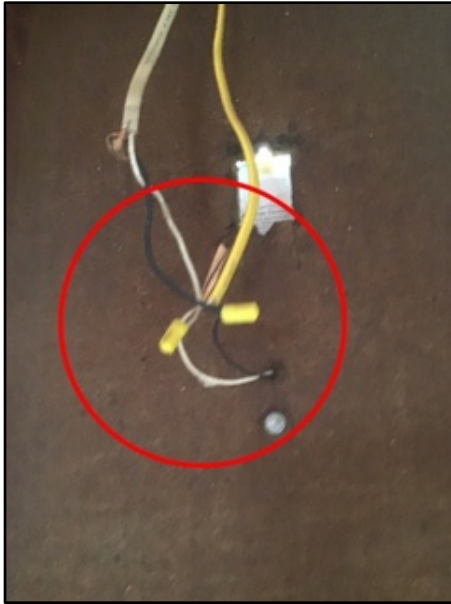


Figure 33-1

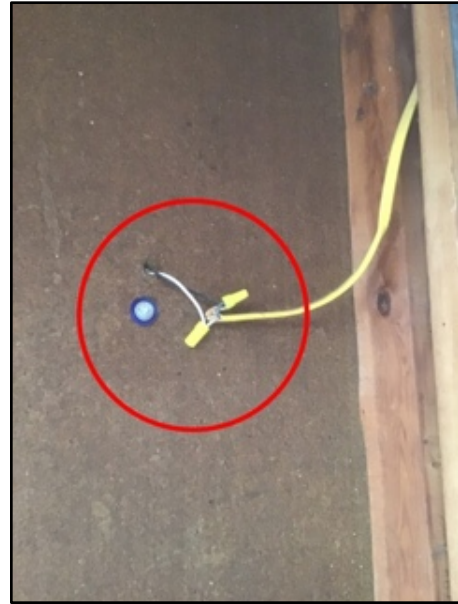


Figure 33-2

(Electrical continued)



Figure 33-3



Comment 34:

The home has a mix of two prong non-grounded outlets and three prong non-grounded outlets along with some grounded 3 prong outlets. Non grounded outlets will not protect three pronged appliances. Adding GFCI outlets to non grounded outlets will protect three pronged appliances. An electrician could review and make recommendations.



Figure 34-1

(Electrical continued)



Comment 35:

Knob and tube wiring is in attic and is charged.



Figure 35-1



Figure 35-2



Comment 36:

Knob and tube wiring is in basement and is charged. I recommend an electrician do an evaluation on the existing knob and tube in the house.



Comment 37:

Homes built prior to 1940 would have had knob and tube wiring present in the home at one time. This type of wiring, with open and visible runs, is often not permitted by insurance providers and lenders. No exposed knob and tube wiring was located. Determination of knob and tube wiring present inside of walls and ceilings is not part of this home inspection. Determination of concealed knob and tube should be performed by an electrician.

Overcurrent Protection:

Fuses

Condition: Marginal

GFCI/AFCI Breakers:

Not Present

(Electrical continued)



Comment 38:

I recommend a GFCI type outlet be installed at any outlet within 6' of a water source. Such as in kitchens, bathrooms and laundry sink areas, this was not code until the mid 80's ( bathrooms) and 90's ( kitchen)

Smoke Detectors:

9 volt Battery Type

Condition: Further Evaluation Required



Comment 39:

I suggest to new home owners that new smoke detectors should be purchased to place in your home. Smoke detectors only have an expected life of 10 years. Placing new ones in your home helps ensure your families safety along with a new carbon monoxide sensor.



Comment 40:

The electric system will need to be updated as you know,.



Figure 40-1

## HVAC

HVAC System Type:

Package Unit

Thermostat:

Digital

Condition: Satisfactory

(HVAC continued)

## Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:

Basement

Type of Equipment:

Boiler

Condition: Satisfactory



Comment 41:

The boiler heating system was operating as designed at inspection .



Figure 41-1

(Heating continued)



## Comment 42:

I always recommend an HVAC technician come and perform a clean and tune on all furnace units and boilers, This will allow for a complete inspection of heat exchanger and other internal components of the heater I am not able to inspect. Sometimes there are rebates from your gas company for this service which almost covers the cost of the inspection. This function should be performed regularly on your homes heating system, service records do show past maintenance

SERVICE DATE	TYPE OF SERVICE	TECH
8/23/12	Comprehensive Service	JK
9/18/14	Tune up clean and check	JK
10/13/15	Boiler off	JK
11/16/17	Tune up clean and check	JK
11/10/18	Repaired Thermostat	H
12/12/18	Boiler off	JK
6/14/18	Boiler maintenance	JK
-/-		
-/-		
-/-		
-/-		

Figure 42-1



## Comment 43:

Service tag shows regular service has been done.

Manufacturer:

Weil McLain

Heating Fuel:

Gas

Condition: Satisfactory

Approximate Age:

Less Than 10 Years

Type of Distribution:

Pipes

Condition: Marginal

(Heating continued)



**Comment 44:**

Some of the homes boiler piping has asbestos type insulation wrapped around it. Asbestos insulation is harmful if handled or removed without the proper safety equipment. If removal is desired, it should be handled by a licensed abatement contractor.



Figure 44-1



---

**Comment 45:**

The boiler heating system was operating as designed at inspection .



Figure 45-1

(Heating continued)

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

## Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:	Public
Supply Pipe Material:	Copper, Galvanized, PEX
	Condition: Satisfactory
Location of Main Water Shutoff:	Basement
Sewer System:	Public
Waste Pipe Material:	Cast Iron, Galvanized Steel
	Condition: Further Evaluation Required
Sump Pump:	Not Present
Location of Fuel Shutoff:	At Meter

(Plumbing continued)



Comment 46:  
Copper water line and main shut off valve .



Figure 46-1

## Water Heater

Approximate Age:

New With Rhe Boiler System

Temp & Pressure Relief Valve:

Present With Blow Off Leg

Condition: Satisfactory

(Water Heater continued)


 **Comment 47:**  
The boiler operating water heater was operating as designed at inspection .



Figure 47-1

## Laundry

Built In Cabinets:	Yes
	Condition: Satisfactory
Laundry Sink:	Not Present
Dryer Venting:	To Exterior
	Condition: Satisfactory
Laundry Hook Ups:	Yes
	Condition: Satisfactory
Washer:	Not Inspected
Dryer:	Not Inspected

(Laundry continued)



Comment 48:  
Main floor laundry area .



Figure 48-1

# Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

## Steps/Stoops

---

- 1) The front porch will need repair, lifting boards and loose peeling paint .



Figure 1-1

## Exterior Covering

---

- 2) The loose hanging backing material at the siding by the upper back roof will need repair, ( sealing this area is also recommended .

(Report Summary continued)



Figure 3-1

## Windows

---

3) The back windows in the attic area are in poor condition, these will need repair or replacement .



Figure 4-1

(Report Summary continued)

## Railings

---

4) This photo shows a sample of the loose peeling paint .



Figure 5-1

5) Safety hand railings are recommended at all stairways with 3 treads or more, also most insurance providers will require them. this safety item was missing at the front stairway,



Figure 6-1

(Report Summary continued)

### Garage Type

---

6) Some floor cracks are present, but the foundation was stable .



Figure 8-1

### Opener Safety Feature

---

7) Garage door springs should have a safety cable running through them., also the spring system was broken on the center door,



Figure 9-1

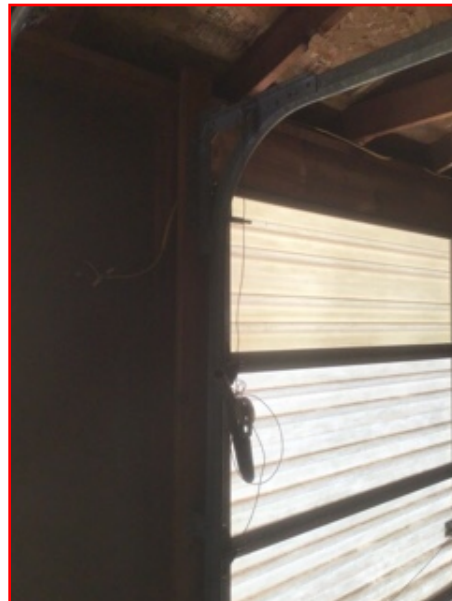


Figure 9-2

(Report Summary continued)

### Exterior Covering

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8) The siding on this building was in poor condition, also note the back window was broken .



Figure 11-1



Figure 11-2



Figure 11-3

(Report Summary continued)

### Gutters & Downspouts

---

9) Only on the garage, these do need cleaning .



Figure 15-1

### Dishwasher

---

10) This unit was not working at time of inspection .



Figure 19-1

(Report Summary continued)

### Shower Walls

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11) The tub shower was in good condition, but needs new sealing around the base.



Figure 23-1

### Walls

---

12) This photo shows the upper hallway by the chimney with the most peeling plaster.

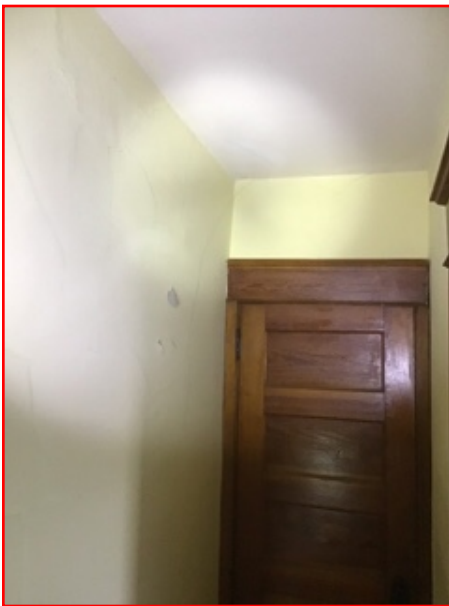


Figure 26-1

(Report Summary continued)

### Foundation Types

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13) The basement wood window units are in poor condition, the exterior foundation paint was peeling, these items should be taken care of .



Figure 28-1



Figure 28-2



Figure 28-3

(Report Summary continued)

### Branch Circuit Wiring

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14) The wiring in the garage will also need to be repaired ( with proper junction box connections), Also, the back wall outlets were not energized .



Figure 33-1



Figure 33-2



Figure 33-3

(Report Summary continued)

15) The home has a mix of two prong non-grounded outlets and three prong non-grounded outlets along with some grounded 3 prong outlets. Non grounded outlets will not protect three pronged appliances. Adding GFCI outlets to non grounded outlets will protect three pronged appliances. An electrician could review and make recommendations.



Figure 34-1

16) Knob and tube wiring is in attic and is charged.



Figure 35-1



Figure 35-2

17) Knob and tube wiring is in basement and is charged. I recomend and electrician do an evaluation on the existing knob and tube in the house.

(Report Summary continued)

### Type of Distribution

---

18) Some of the homes boiler piping has asbestos type insulation wrapped around it. Asbestos insulation is harmful if handled or removed without the proper safety equipment. If removal is desired, it should be handled by a licensed abatement contractor.



Figure 44-1